

297/62

SILVANA HEIGHTS

NW 1/4 OF THE NE 1/4 OF SECTION 19, TOWNSHIP 26 NORTH, RANGE 05 EAST, W.M.
CITY OF KIRKLAND, KING COUNTY, WASHINGTON

DEDICATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF INTEREST IN THE LAND HEREBY SUBDIVIDED, HEREBY DECLARE THIS PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SUBDIVISION MADE HEREBY, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE HEREON AND DEDICATE THE USE THEREOF FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS AND TRACTS SHOWN THEREON IN THE ORIGINAL REASONABLE GRADING OF SAID STREETS AND AVENUES, AND FURTHER DEDICATE TO THE USE OF THE PUBLIC ALL THE EASEMENTS AND TRACTS SHOWN ON THIS PLAT FOR ALL PUBLIC PURPOSES AS INDICATED THEREON, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACE, UTILITIES AND DRAINAGE UNLESS SUCH EASEMENTS OR TRACTS ARE SPECIFICALLY IDENTIFIED ON THIS PLAT AS BEING DEDICATED OR CONVEYED TO A PERSON OR ENTITY OTHER THAN THE PUBLIC, IN WHICH CASE WE DO HEREBY DEDICATE SUCH STREETS, EASEMENTS, OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SUBDIVIDED WAIVE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS AND ANY PERSON OR ENTITY DERIVING TITLE FROM THE UNDERSIGNED, ANY AN ALL CLAIMS FOR DAMAGES AGAINST THE CITY OF KIRKLAND, ITS SUCCESSORS AND ASSIGNS WHICH MAY BE OCCASIONED BY THE ESTABLISHMENT, CONSTRUCTION, OR MAINTENANCE OF ROADS AND/OR DRAINAGE SYSTEMS WITHIN THIS SUBDIVISION OTHER THAN CLAIMS RESULTING FROM INADEQUATE MAINTENANCE BY THE CITY OF KIRKLAND.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SUBDIVIDED, AGREE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS TO INDEMNIFY AND HOLD THE CITY OF KIRKLAND, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM ANY DAMAGE, INCLUDING ANY COSTS OF DEFENSE, CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION. PROVIDED, THIS WAIVER AND INDEMNIFICATION SHALL NOT BE CONSTRUED AS RELEASING THE CITY OF KIRKLAND, ITS SUCCESSORS OR ASSIGNS, FROM LIABILITY FOR DAMAGES, INCLUDING THE COST OF DEFENSE, RESULTING IN WHOLE OR IN PART FROM THE NEGLIGENCE OF THE CITY OF KIRKLAND, ITS SUCCESSORS, OR ASSIGNS.

THIS SUBDIVISION, DEDICATION, WAIVER OF CLAIMS AND AGREEMENT TO HOLD HARMLESS IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNERS.

IN WITNESS WHEREOF, WE SET OUR HANDS AND SEAL THIS 22nd DAY OF November, 2021

BY: Corey T. Christensen

AUTHORIZED SIGNER: [Signature]

ECLIPSE HOLDINGS, LLC, A WASHINGTON LIMITED LIABILITY COMPANY

ACKNOWLEDGMENTS

STATE OF WA

COUNTY OF King

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT Corey T. Christensen IS THE PERSONS WHO APPEARED BEFORE ME, AND SAID PERSONS ACKNOWLEDGED THAT THEY SIGNED THIS INSTRUMENT, ON OATH STATED THAT THEY WERE AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE manager OF ECLIPSE HOLDINGS, LLC, A WASHINGTON LIMITED LIABILITY COMPANY TO BE THEIR FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED: 22nd of November 2021

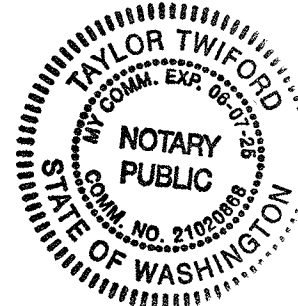
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(PRINT NAME) Taylor Twiford

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

RESIDING AT: Bothell

MY APPOINTMENT EXPIRES: 06-07-2025



LEGAL DESCRIPTION

LOT 2 OF KING COUNTY SHORT PLAT NO. 1280040R, RECORDED UNDER RECORDING NO. 8104080288, BEING A CORRECTION OF RECORDING NO. 8102180727, RECORDS OF KING COUNTY, WASHINGTON;

SITUATE IN THE CITY OF KIRKLAND, COUNTY OF KING, STATE OF WASHINGTON.

CITY OF KIRKLAND APPROVALS

DEPARTMENT OF PUBLIC WORKS

EXAMINED AND APPROVED THIS 22nd DAY OF November, 2021.

[Signature]
CITY OF ENGINEER (DIRECTOR)

CITY OF KIRKLAND DEPARTMENT OF PLANNING AND BUILDING

EXAMINED, REVIEWED AND APPROVED BY THE CITY OF KIRKLAND PURSUANT TO THE SUBDIVISION PROVISIONS OF TITLE 22 (LAND SUBDIVISION), KIRKLAND MUNICIPAL CODE, THIS 22nd DAY OF November, 2021

[Signature]
DIRECTOR, PLANNING AND BUILDING DEPARTMENT

CITY TREASURER CERTIFICATE

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT LOCAL IMPROVEMENT ASSESSMENTS AND THAT ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTY HEREIN CONTAINED, DEDICATED AS STREETS, OR FOR OTHER PUBLIC USE, ARE PAID IN FULL THIS 22nd DAY OF November, 2021.

[Signature]
TREASURER, CITY OF KIRKLAND

KING COUNTY APPROVALS

EXAMINED AND APPROVED THIS 8 DAY OF DECEMBER, 2021.

JOHN WILSON
KING COUNTY ASSESSOR

[Signature]
DEPUTY KING COUNTY ASSESSOR

KING COUNTY TAX ACCOUNT NUMBER: 1926059070

KING COUNTY FINANCE DIRECTOR'S CERTIFICATE

I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID, THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED, DEDICATED AS STREETS, ALLEYS OR FOR ANY OTHER PUBLIC USE ARE PAID IN FULL THIS 8th DAY OF DECEMBER, 2021.

Carol Basile
DIRECTOR

[Signature]
DEPUTY

RECORDER'S CERTIFICATE

FILED FOR RECORD A THE REQUEST OF Aaron Eli Tyson THIS 9th DAY OF December, 2021 AT 57 MINUTES PAST 9 AM, AND RECORDED IN VOLUME 217 OF PLATS, PAGE 62-66 RECORDING NUMBER _____ RECORDS OF KING COUNTY, WASHINGTON.

AUTHORIZED REPRESENTATIVE

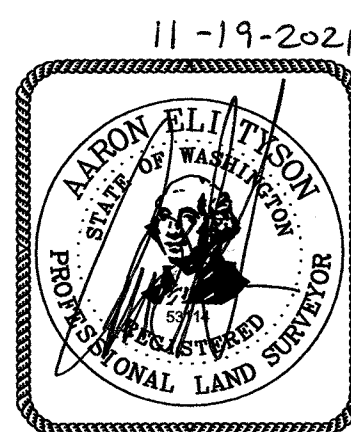
BY: [Signature]
SUPERINTENDENT OF RECORDS

SURVEYORS CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF ECLIPSE HOLDINGS, LLC, A WASHINGTON LIMITED LIABILITY COMPANY ON MAY OF 2021. I HEREBY CERTIFY THAT THIS MAP FOR SILVANA HEIGHTS, A PLAT COMMUNITY IS BASED UPON AN ACTUAL SURVEY OF THE PROPERTY HEREIN DESCRIBED; THAT THE BEARINGS AND DISTANCES ARE CORRECTLY SHOWN; THAT ALL INFORMATION REQUIRED BY THE WASHINGTON UNIFORM COMMON INTEREST OWNERSHIP ACT IS SUPPLIED HEREIN; AND THAT ALL HORIZONTAL AND VERTICAL BOUNDARIES OF THE UNITS, (1) TO THE EXTENT DETERMINED BY THE WALLS, FLOORS, OR CEILINGS THEREOF, OR OTHER PHYSICAL MONUMENTS, ARE SUBSTANTIALLY COMPLETED IN ACCORDANCE WITH SAID MAP, OR (2) TO THE EXTENT SUCH BOUNDARIES ARE NOT DEFINED BY PHYSICAL MONUMENTS, SUCH BOUNDARIES ARE SHOWN ON THE MAP.

[Signature]
AARON ELI TYSON
PROFESSIONAL LAND SURVEYOR

11-19-2021
DATE
CERTIFICATE # 53114



NorthLine
Surveying
Surveying and Construction Technologies
2025 RIVERSIDE DRIVE SUITE D
MOUNT VERNON, WA 98273
(360)899-9598

SILVANA HEIGHTS
CITY OF KIRKLAND FILE NUMBER:
SUB16-03082
PORTIONS OF THE NW 1/4 OF THE NE 1/4 OF SECTION 19,
TOWNSHIP 26 NORTH, RANGE 05 EAST, W.M.
CITY OF KIRKLAND
KING COUNTY, WASHINGTON

PREP: 04-13-2021
REV: 08-27-2021
DRAFT: AET
CHK: BAG
SHEET 1 OF 5

297/63

SILVANA HEIGHTS

NW 1/4 OF THE NE 1/4 OF SECTION 19, TOWNSHIP 26 NORTH, RANGE 05 EAST, W.M.
CITY OF KIRKLAND, KING COUNTY, WASHINGTON

PLAT NOTES

- ADDRESSING SHALL BE IN ACCORDANCE WITH THE KIRKLAND BUILDING DIVISION POLICY MANUAL NUMBER 9.0001, ASSIGNMENT OF STREET NUMBERS AND ROAD SIGNAGE.
- UTILITY MAINTENANCE: EACH PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE SANITARY SEWER, STORM WATER STUB, RAIN GARDEN, PERMEABLE PAVEMENT, OR ANY INFILTRATION FACILITIES (KNOWN AS LOW IMPACT DEVELOPMENT) FROM THE POINT OF USE ON THEIR OWN PROPERTY TO THE POINT OF CONNECTION IN THE CITY SANITARY SEWER MAIN OR STORM WATER MAIN. ANY PORTION OF A SANITARY SEWER, SURFACE WATER STUB, RAIN GARDEN, PERMEABLE PAVEMENT, OR ANY INFILTRATION FACILITIES, WHICH JOINTLY SERVES MORE THAN ONE PROPERTY, SHALL BE JOINTLY MAINTAINED AND REPAIRED BY THE PROPERTY OWNERS SHARING SUCH STUB. THE JOINT USE AND MAINTENANCE SHALL "RUN WITH THE LAND" AND WILL BE BINDING ON ALL PROPERTY OWNERS WITHIN THIS SUBDIVISION, INCLUDING THEIR HEIRS, SUCCESSORS AND ASSIGNS.
- PUBLIC RIGHT-OF-WAY SIDEWALK AND VEGETATION MAINTENANCE: EACH PROPERTY OWNER SHALL BE RESPONSIBLE FOR KEEPING THE SIDEWALK ABUTTING THE SUBJECT PROPERTY CLEAN AND LITTER FREE. THE PROPERTY OWNER SHALL ALSO BE RESPONSIBLE FOR MAINTENANCE OF THE VEGETATION WITHIN THE ABUTTING LANDSCAPE STRIP. THE MAINTENANCE SHALL "RUN WITH THE LAND" AND WILL BE BINDING ON ALL PROPERTY OWNERS WITHIN THIS SUBDIVISION, INCLUDING THEIR HEIRS, SUCCESSORS AND ASSIGNS.
- ALL ROOF AND DRIVEWAY DRAINAGE MUST BE TIGHT-LINED TO THE STORM DRAINAGE SYSTEM OR UTILIZE LOW IMPACT DEVELOPMENT TECHNIQUES. THE TIGHT LINE CONNECTIONS SHALL BE INSTALLED WITH THE INDIVIDUAL NEW HOUSES.
- LOCAL IMPROVEMENT DISTRICT (LID) WAIVER AGREEMENT. CHAPTER 110.60.7.b OF KIRKLAND ZONING CODE REQUIRES ALL OVERHEAD UTILITY LINES ALONG FRONTAGE OF THE SUBJECT PROPERTY TO BE CONVERTED TO UNDERGROUND UNLESS THE PUBLIC WORKS DIRECTOR DETERMINES THAT IT IS INFEASIBLE TO DO SO AT THE TIME OF THE SUBDIVISION RECORDING. IF IT IS DETERMINED TO BE INFEASIBLE, THEN THE PROPERTY OWNER SHALL CONSENT TO THE FORMATION OF A LOCAL IMPROVEMENT DISTRICT, HEREAFTER FORMED BY THE CITY OR OTHER PROPERTY OWNERS. DURING REVIEW OF THE SUBDIVISION IT WAS DETERMINED THAT IT WAS INFEASIBLE TO CONVERT THE OVERHEAD UTILITY LINES TO UNDERGROUND ALONG THE FRONTAGE OF THIS SUBDIVISION ON SIMONDS ROAD. THEREFORE, IN CONSIDERATION OF DEFERRING THE REQUIREMENT TO UNDERGROUND THE OVERHEAD UTILITY LINES AT THE TIME OF THE SUBDIVISION RECORDING, THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS OF LOTS WITHIN THIS SUBDIVISION HEREBY CONSENT TO THE FORMATION OF A LOCAL IMPROVEMENT DISTRICT HEREAFTER FORMED BY THE CITY OR OTHER PROPERTY OWNERS.
- UPON RECORDING OF THIS PLAT, TRACT 998, AN OPEN SPACE AND CRITICAL AREA TRACT, IS HEREBY GRANTED AND CONVEYED TO THE SILVANA HEIGHTS HOMEOWNERS' ASSOCIATION (HOA) FOR THE BENEFIT OF ALL LOT OWNERS IN THE PLAT. THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID TRACT AND THE PRIVATE UTILITIES CONTAINED THEREIN WITH THE COSTS THEREOF ASSESSED TO ALL LOT OWNERS IN THE PLAT.
- UPON RECORDING OF THIS PLAT, TRACT 999, A STORMWATER DETENTION AND OPEN SPACE TRACT IS HEREBY GRANTED AND CONVEYED TO THE SILVANA HEIGHTS HOMEOWNERS' ASSOCIATION (HOA). THE SILVANA HEIGHTS HOA IS RESPONSIBLE FOR THE MAINTENANCE OF SAID TRACT EXCEPT FOR THE DRAINAGE FACILITIES WHICH ARE OWNED BY THE CITY OF KIRKLAND. THE DRAINAGE FACILITIES WITHIN SAID TRACT SHALL BE THE RESPONSIBILITY OF THE CITY OF KIRKLAND. A PUBLIC DRAINAGE EASEMENT IS HEREBY GRANTED OVER THE ENTIRETY OF TRACT 999 FOR ACCESS AND MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID TRACT (SEE EASEMENT PROVISION 12).

RESTRICTIONS OF RECORD

SUBDIVISION GUARANTEE ISSUED BY TITLE RESOURCES GUARANTY COMPANY, UNDER GUARANTEE NO. 40281041, DATED APRIL 13, 2021.

- SUBJECT TO A NOTICE OF TAP OR CONNECTION CHARGES WHICH HAVE BEEN OR WILL BE DUE IN CONNECTION WITH DEVELOPMENT OR RE-DEVELOPMENT OF THE LAND AS DISCLOSED BY RECORDED INSTRUMENT RECORDING NO. 9207300895 DATED JULY 30, 1992.
- SUBJECT TO THE RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND HEREIN DESCRIBED AS GRANTED TO KING COUNTY BY DEED RECORDED UNDER RECORDING NO. 5445508 (TO BE EXTINGUISHED).
- SUBJECT TO THE RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND HEREIN DESCRIBED AS GRANTED TO KING COUNTY BY DEED RECORDED UNDER RECORDING NO. 5454986 (TO BE EXTINGUISHED).
- SUBJECT TO AN EASEMENT TO NORTHEAST LAKE WASHINGTON SEWER DISTRICT RECORDED UNDER RECORDING NO. 6210637 DATED JULY 28, 1967. (THIS DOES NOT AFFECT THIS PROPERTY)
- SUBJECT TO AN EASEMENT FOR DRAINAGE AND UTILITIES RECORDED UNDER RECORDING NO 7307200039 DATED JULY 20, 1973. (THIS DOES NOT AFFECT THIS PROPERTY)
- SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND OTHER SERVITUDES, IF ANY, DISCLOSED BY THE BOUNDARY LINE ADJUSTMENT RECORDED UNDER RECORDING NO. 8102030657. (THIS DOES NOT AFFECT THIS PROPERTY)
- SUBJECT TO ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS OR OTHER SERVITUDES, IF ANY DISCLOSED BY THE SHORT PLAT RECORDED UNDER RECORDING NO. 8104080288 BEING A CORRECTION OF 8102180727.
- SUBJECT TO A SEWER EASEMENT TO NORTHEAST LAKE WASHINGTON SEWER AND WATER DISTRICT RECORDED UNDER RECORDING NO. 8201070329 DATED JANUARY 07, 1982.
- SUBJECT TO MATTERS SET FORTH BY SURVEY RECORDED UNDER RECORDING NO. 9011029002 DATED NOVEMBER 02, 1990.
- SUBJECT TO GEOLOGICALLY HAZARDOUS AREAS COVENANT AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 20200423001523 DATED APRIL 23, 2020.
- SUBJECT TO SAVE HARMLESS AGREEMENT - STREAM AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 20200423001524 DATED APRIL 23, 2020.
- SUBJECT TO A SEWER EASEMENT TO NORTHSORE UTILITY DISTRICT RECORDED UNDER RECORDING NO. 20210317000199 DATED MARCH 17, 2021.
- SUBJECT TO A WATER EASEMENT TO NORTHSORE UTILITY DISTRICT RECORDED UNDER RECORDING NO. 20210317000201 DATED MARCH 17, 2021.

EASEMENT PROVISIONS

- AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF KIRKLAND, AND ALL UTILITIES SERVICING SAID PROPERTY, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, OVER, UNDER, ACROSS AND UPON THE EXTERIOR 10 FEET, PARALLEL WITH AND ADJOINING NE 114TH PLACE FRONTAGE OF LOTS 1 THROUGH 12 AND THE EXTERIOR 5 FEET, PARALLEL WITH AND ADJOINING SIMONDS ROAD FRONTAGE OF LOTS 1 THROUGH 4 AND TRACT 998 IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN UNDERGROUND CONDUITS, MAINS, CABLES, AND WIRES WITH NECESSARY FACILITIES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH UTILITY SERVICES, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AND TRACTS AT ALL TIMES FOR THE PURPOSE HEREIN STATED. THESE EASEMENTS ENTERED UPON FOR THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION BY THE UTILITY. NO LINES OR WIRES FOR THE TRANSMISSION OF ELECTRIC CURRENT, TELEPHONE OR CABLE TV SHALL BE PLACED OR BE PERMITTED TO BE PLACED UPON ANY LOT UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO A BUILDING. SAID EASEMENTS MAY CONTAIN PRIVATE STORM DRAINAGE SYSTEMS AS SHOWN ON THE PLANS. THE MAINTENANCE OF THOSE PRIVATE DRAINAGE SYSTEMS SHALL BE THE RESPONSIBILITY OF THOSE LOT OWNERS BENEFITING FROM SAID SYSTEMS.
- A NATURAL GROWTH PROTECTIVE EASEMENT (NGPE) IS HEREBY GRANTED TO THE CITY OF KIRKLAND OVER THOSE PORTIONS OF LOTS 5-12 AND TRACTS 998 AND 999 AND AS SHOWN ON THIS PLAT MAP SHEETS 3 AND 4. THE MAINTENANCE OF SAID NGPE'S ARE THE RESPONSIBILITY OF THE SILVANA HEIGHTS HOMEOWNERS ASSOCIATION AND ARE SUBJECT TO THE NGPE PROVISIONS CONTAINED HEREIN.
- THE PRIVATE ACCESS AND UTILITY EASEMENT ACROSS LOT 11 AS SHOWN HEREON IS HEREBY RESERVED FOR AND GRANTED TO LOT 12. THE OWNERS OF LOTS 11 AND 12 ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRIVEWAY SURFACE EQUALLY. EACH LOT OWNER SHALL BE RESPONSIBLE FOR THAT PORTION OF THE PRIVATE UTILITY LINE(S) SERVICING THEIR RESPECTIVE LOT.
- THE PUBLIC DRAINAGE EASEMENT SHOWN ACROSS LOT 1 IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF KIRKLAND.
- THE 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT SHOWN ACROSS LOTS 10 AND 11 IS HEREBY RESERVED FOR AND GRANTED TO LOTS 11 AND 12. THE OWNERS OF LOTS 10, 11 AND 12 ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID EASEMENT SERVING THEIR RESPECTIVE LOTS, EXCEPT THAT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED DRAINAGE LINE LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.
- THE 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT SHOWN ACROSS LOT 4 IS HEREBY RESERVED FOR AND GRANTED TO THE SILVANA HEIGHTS HOMEOWNERS' ASSOCIATION. THE OWNER OF LOT 4 AND SAID HOMEOWNERS' ASSOCIATION ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID EASEMENT SERVING THEIR RESPECTIVE LOTS, EXCEPT THAT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED DRAINAGE LINE LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.
- THE 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT SHOWN ACROSS LOTS 6 AND 7 IS HEREBY RESERVED FOR AND GRANTED TO LOTS 7 AND 8. THE OWNERS OF LOTS 6, 7 AND 8 ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID EASEMENT SERVING THEIR RESPECTIVE LOTS, EXCEPT THAT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED DRAINAGE LINE LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.
- THE 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT SHOWN ACROSS LOT 9 IS HEREBY RESERVED FOR AND GRANTED TO LOT 10. THE OWNERS OF LOTS 9 AND 10 ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID EASEMENT SERVING THEIR RESPECTIVE LOTS, EXCEPT THAT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED DRAINAGE LINE LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.
- THE 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT SHOWN ACROSS LOT 3 IS HEREBY RESERVED FOR AND GRANTED TO LOT 4. THE OWNERS OF LOTS 3 AND 4 ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID EASEMENT SERVING THEIR RESPECTIVE LOTS, EXCEPT THAT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED DRAINAGE LINE LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.
- THE 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT SHOWN ACROSS LOT 1 IS HEREBY RESERVED FOR AND GRANTED TO LOT 2. THE OWNERS OF LOTS 1 AND 2 ARE HEREBY RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITIES WITHIN SAID EASEMENT SERVING THEIR RESPECTIVE LOTS, EXCEPT THAT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED DRAINAGE LINE LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.
- THE 20' WIDE WALL MAINTENANCE EASEMENT AS SHOWN ACROSS LOTS 5, 6, 7, 8, 9, 10, 11, AND 12 IS HEREBY RESERVED FOR AND GRANTED TO THE SILVANA HEIGHTS HOMEOWNERS' ASSOCIATION. SAID HOMEOWNERS' ASSOCIATION IS HEREBY RESPONSIBLE FOR THE WALL MAINTENANCE WITHIN SAID EASEMENT.
- A PUBLIC STORM DRAINAGE EASEMENT OVER, ACROSS, UNDER AND UPON THE ENTIRETY OF TRACT 999 IS HEREBY GRANTED AND CONVEYED TO THE CITY OF KIRKLAND FOR LOCATION, OPERATION, MAINTENANCE, REPAIR, RECONSTRUCTION, AND REPLACEMENT OF A STORMWATER DETENTION VAULT AND ASSOCIATED PUBLIC STORM DRAINAGE FACILITIES LOCATED WITHIN SAID TRACT, TOGETHER WITH THE RIGHT TO INGRESS AND EGRESS FOR FOR ALL SUCH PURPOSES OF SAID STORMWATER VAULT AND ASSOCIATED STORM DRAINAGE FACILITIES.

NGPE PROVISIONS

NO TREE TRIMMING, TREE TOPPING, TREE CUTTING, TREE REMOVAL, SHRUB OR BRUSH CUTTING OR REMOVAL OF NATIVE VEGETATION, APPLICATION OF PESTICIDES, HERBICIDES, OR FERTILIZERS; CONSTRUCTION; CLEARING; OR ALTERATION ACTIVITIES SHALL OCCUR WITHIN THE EASEMENT AREA WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY OF KIRKLAND. APPLICATION FOR SUCH WRITTEN APPROVAL TO BE MADE TO THE KIRKLAND DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT WHO MAY REQUIRE INSPECTION OF THE PREMISES BEFORE ISSUANCE OF THE WRITTEN APPROVAL AND FOLLOWING COMPLETION OF THE ACTIVITIES, ANY PERSON CONDUCTING OR AUTHORIZING SUCH ACTIVITY IN VIOLATION OF THIS PARAGRAPH OR THE TERMS OF ANY WRITTEN APPROVAL ISSUED PURSUANT HERETO, SHALL BE SUBJECT TO THE ENFORCEMENT PROVISION OF CHAPTER 170, ORDINANCE 3719, THE KIRKLAND ZONING CODE. IN SUCH EVENT, THE KIRKLAND DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT MAY ALSO REQUIRE WITHIN THE IMMEDIATE VICINITY OF ANY DAMAGED OR FALLEN VEGETATION, RESTORATION OF THE AFFECTED AREA BY PLANTING REPLACEMENT TREES AND OTHER VEGETATION AS REQUIRED IN APPLICABLE SECTIONS OF THE KIRKLAND ZONING CODE. THE DEPARTMENT ALSO MAY REQUIRE THAT THE DAMAGED OR FALLEN VEGETATION BE REMOVED. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN CRITICAL AREAS AND THEIR BUFFERS BY REMOVING NON-NATIVE, INVASIVE, AND NOXIOUS PLANTS IN A MANNER THAT WILL NOT HARM CRITICAL AREAS OR THEIR BUFFERS AND IN ACCORDANCE WITH KIRKLAND ZONING CODE REQUIREMENTS FOR TREES AND OTHER VEGETATION WITHIN CRITICAL AREAS AND CRITICAL AREA BUFFERS.

THE CITY SHALL HAVE A LICENSE TO ENTER THE EASEMENT AREA (AND THE PROPERTY IF NECESSARY FOR ACCESS TO THE EASEMENT AREA) FOR THE PURPOSE OF MONITORING COMPLIANCE WITH THE TERMS OF THIS EASEMENT.

DEVELOPMENT OUTSIDE OF THIS NATURAL GREENBELT PROTECTIVE EASEMENT MAY BE LIMITED BY CODIFIED STANDARDS, PERMIT CONDITIONS, OR MOVEMENT OF THE CRITICAL AREA.

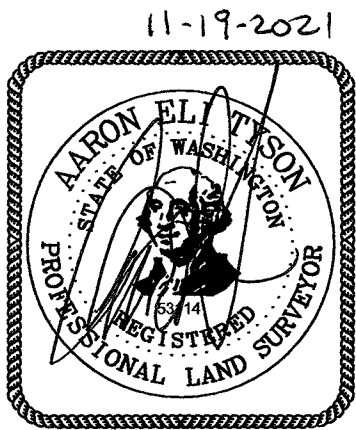
EACH OF THE UNDERSIGNED OWNERS AGREE TO DEFEND, PAY, AND SAVE HARMLESS THE CITY OF KIRKLAND, ITS OFFICERS, AGENTS, AND EMPLOYEES FROM ANY AND ALL CLAIMS OF EVERY NATURE WHATSOEVER, REAL OR IMAGINARY, WHICH MAY BE MADE AGAINST THE CITY, ITS OFFICERS, AGENTS, OR EMPLOYEES FOR ANY DAMAGE TO PROPERTY OR INJURY TO ANY PERSON ARISING OUT OF THE EXISTENCE OF SAID NATURAL GREENBELT PROTECTIVE EASEMENT OVER SAID OWNERS' PROPERTY OR THE ACTIONS OF THE UNDERSIGNED OWNERS IN CARRYING OUT THE RESPONSIBILITIES UNDER THIS AGREEMENT, INCLUDING ALL COSTS AND EXPENSES, AND RECOVER ATTORNEY'S FEES AS MAY BE INCURRED BY THE CITY OF KIRKLAND IN DEFENSE THEREOF, EXCEPTING THEREFROM ONLY SUCH CLAIMS AS MAY ARISE SOLELY OUT OF THE NEGLIGENCE OF THE CITY OF KIRKLAND, ITS OFFICERS, AGENTS, OR EMPLOYEES.

THE EASEMENT SHALL BE BINDING UPON THE PARTIES HERETO, THEIR SUCCESSORS AND ASSIGNS, AND SHALL RUN WITH THE LAND.

IMPERVIOUS SURFACE COVENANT PROVISIONS

THE SUBDIVISION IS HEREBY RESTRICTED TO THE AMOUNT OF IMPERVIOUS SURFACE ALLOWED FOR THE PURPOSE OF LIMITING STORMWATER FLOWS. EACH PROPERTY OWNER WITH THE RESTRICTION HEREBY COVENANTS AND AGREES AS FOLLOWS:

THE ALLOWABLE SQUARE FOOTAGE OF IMPERVIOUS SURFACE IS RESTRICTED AS LISTED IN THE IMPERVIOUS SURFACE LIMIT TABLE, ON SHEET 4 OF THIS PLAT. IMPERVIOUS SURFACE MEANS A HARD SURFACE AREA THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL MANTLE AS UNDER NATURAL CONDITIONS BEFORE DEVELOPMENT; OR THAT CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES OR AT AN INCREASED RATE OF FLOW FROM THE FLOW PRESENT UNDER NATURAL CONDITIONS PRIOR TO DEVELOPMENT. COMMON IMPERVIOUS SURFACES INCLUDE, BUT ARE NOT LIMITED TO, ROOF, WALKWAYS, PATIOS, DRIVEWAYS, PARKING LOTS, OR STORAGE AREAS, AREAS THAT ARE PAVED, GRAVELED OR MADE OF PACKED OR OILED EARTHEN MATERIALS, OR OTHER SURFACES THAT SIMILARLY IMPEDE THE NATURAL INFILTRATION OF SURFACE AND STORM WATER; PERVIOUS SURFACES WITH UNDERDRAINS DESIGNED TO COLLECT STORMWATER RUNOFF ARE CONSIDERED AN IMPERVIOUS SURFACE. COMMON PERVIOUS SURFACES ARE CONSIDERED 50% IMPERVIOUS FOR THE PURPOSES OF CALCULATING AN IMPERVIOUS SURFACE LIMIT ARE POROUS CONCRETE, PERVIOUS PAVERS, PERMEABLE ASPHALT, AND SLATTED DECKS, PER KZC 115.90.3 EXEMPTIONS. THE CITY OF KIRKLAND OR ITS MUNICIPAL SUCCESSORS SHALL HAVE A NON-EXCLUSIVE PERPETUAL ACCESS EASEMENT ON THE PROPERTY IN ORDER TO INGRESS AND EGRESS FOR THE SOLE PURPOSES OF INSPECTING AND MONITORING THE PROPERTY'S IMPERVIOUS SURFACE COVERAGE. THIS EASEMENT/RESTRICTION IS BINDING UPON THE GRANTOR(S), ITS HEIRS, SUCCESSORS, AND ASSIGNS UNLESS OR UNTIL A NEW DRAINAGE OR SITE PLAN IS REVIEWED AND APPROVED BY THE CITY OF KIRKLAND PUBLIC WORKS DEPARTMENT OR ITS SUCCESSOR.



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SILVANA HEIGHTS
CITY OF KIRKLAND FILE NUMBER:
SUB16-03082

PORTIONS OF THE NW 1/4 OF THE NE 1/4 OF SECTION 19,
TOWNSHIP 26 NORTH, RANGE 05 EAST, W.M.

CITY OF KIRKLAND
KING COUNTY, WASHINGTON

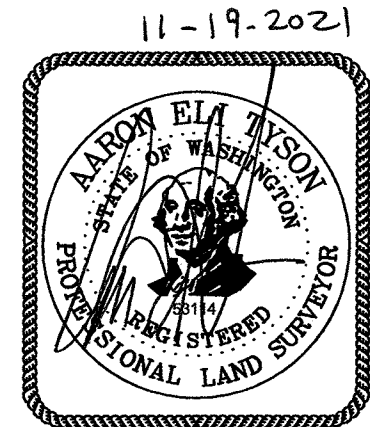
PREP: 04-13-2021

REV: 08-27-2021

DRAFT: AET

CHK: BAG

SHEET 2 OF 5



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DRAFT: AET
CHK: BAG
SHEET 3 OF 5

297/65

SILVANA HEIGHTS

NW 1/4 OF THE NE 1/4 OF SECTION 19, TOWNSHIP 26 NORTH, RANGE 05 EAST, W.M.
CITY OF KIRKLAND, KING COUNTY, WASHINGTON

SURVEY NOTES

OVERALL N.G.P.E. = 27,604 SF

SEE IMPERVIOUS SURFACE COVENANT PROVISIONS
ON SHEET 2

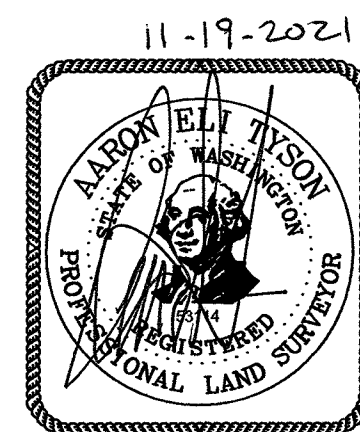
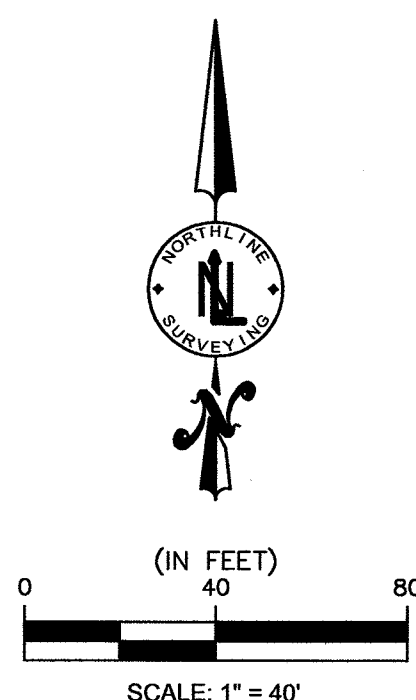
LOT#	MAX IMPERVIOUS SURFACE (SQUARE FEET)
1	3,000
2	3,000
3	3,000
4	3,000
5	3,000
6	3,000
7	3,000
8	3,000
9	3,000
10	3,000
11	4,250
12	4,055

LINE	BEARING	DISTANCE
L8	N 50°00'00" W	41.56'
L9	N 60°00'54" W	50.00'
L10	N 63°40'11" W	50.12'
L11	N 66°22'17" W	9.95'
L12	N 49°39'05" W	49.89'
L13	N 59°07'23" W	5.00'
L15	N 50°38'27" W	73.73'
L16	N 63°11'34" W	12.60'
L17	N 68°38'06" E	54.22'
L18	N 84°04'49" W	9.41'
L19	N 84°04'49" W	35.53'
L20	N 64°42'52" W	20.29'
L21	N 53°11'30" W	32.87'
L22	N 80°16'15" W	30.65'
L23	N 78°47'28" W	44.39'
L24	N 46°59'00" W	12.71'
L25	N 46°59'00" W	44.20'
L26	N 72°51'42" W	22.73'
L27	N 00°29'34" E	9.30'
L28	N 29°14'58" E	49.44'

- (A) SEWER EASEMENT RECORDING NO. 20210317000199, SEE RESTRICTION NO. 12, SHEET 2
- (B) WATER EASEMENT RECORDING NO. 20210317000201, SEE RESTRICTION NO. 13, SHEET 2
- (C) 15' ACCESS AND UTILITY EASEMENT. SEE SHEET 5 FOR DIMENSIONS AND SEE EASEMENT PROVISION NO. 3, SHEET 2.
- (D) 10' UTILITY EASEMENT. SEE EASEMENT PROVISION NO. 1 SHEET 2.
- (E) NATURAL GROWTH PROTECTION EASEMENT. SEE EASEMENT PROVISION NO. 2, SHEET 2 AND NGPE PROVISION SHEET 2.
- (F) PRIVATE LOT DRAINAGE EASEMENT. SEE SHEET 5 FOR DIMENSIONS AND SEE EASEMENT PROVISION NO. 5, SHEET 2.
- (G) PRIVATE LOT DRAINAGE EASEMENT. SEE SHEET 5 FOR DIMENSIONS AND SEE EASEMENT PROVISION NO. 6, SHEET 2.
- (H) PRIVATE LOT DRAINAGE EASEMENT. SEE EASEMENT PROVISION NO. 7, SHEET 2.
- (I) PRIVATE LOT DRAINAGE EASEMENT. SEE EASEMENT PROVISION NO. 8, SHEET 2.
- (J) PRIVATE LOT DRAINAGE EASEMENT. SEE EASEMENT PROVISION NO. 9, SHEET 2.
- (K) PRIVATE LOT DRAINAGE EASEMENT. SEE EASEMENT PROVISION NO. 10, SHEET 2.
- (L) SLOPE EASEMENT GRANTED TO KING COUNTY RECORDING NO. 5445508. SEE RESTRICTION NO. 2, SHEET 2. (TO BE EXTINGUISHED)
- (M) SLOPE EASEMENT GRANTED TO KING COUNTY RECORDING NO. 545986. SEE RESTRICTION NO. 3, SHEET 2 (TO BE EXTINGUISHED)
- (N) SEWER EASEMENT RECORDING NO. 8201070329. SEE RESTRICTION NO. 8, SHEET 2.
- (O) STORM DRAIN EASEMENT. SEE SHEET 5 FOR DIMENSIONS AND SEE EASEMENT PROVISION NO. 4, SHEET 2.
- (P) 20' MAINTENANCE EASEMENT. SEE EASEMENT PROVISION NO. 11, SHEET 2.
- (Q) 10' EASEMENT, SEE EASEMENT PROVISION 1, SHEET 2.

LEGEND

- FOUND MONUMENT IN CASE AS NOTED ON SHEET 3
- SET PUNCHED STANDARD MONUMENT IN CASE STAMPED "LS 53114" UNLESS OTHERWISE NOTED
- FOUND SURVEY MARKER AS NOTED ON SHEET 3
- SET 1/2" X 24" REBAR & CAP STAMPED "LS 53114"
- R RADIAL



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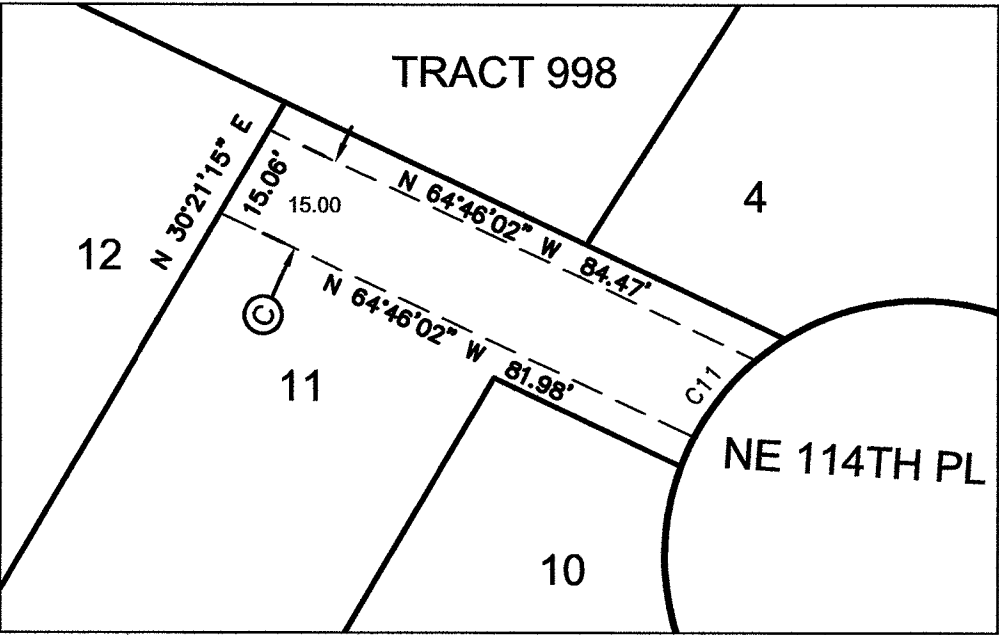
CHK: BAG

SHEET 4 OF 5

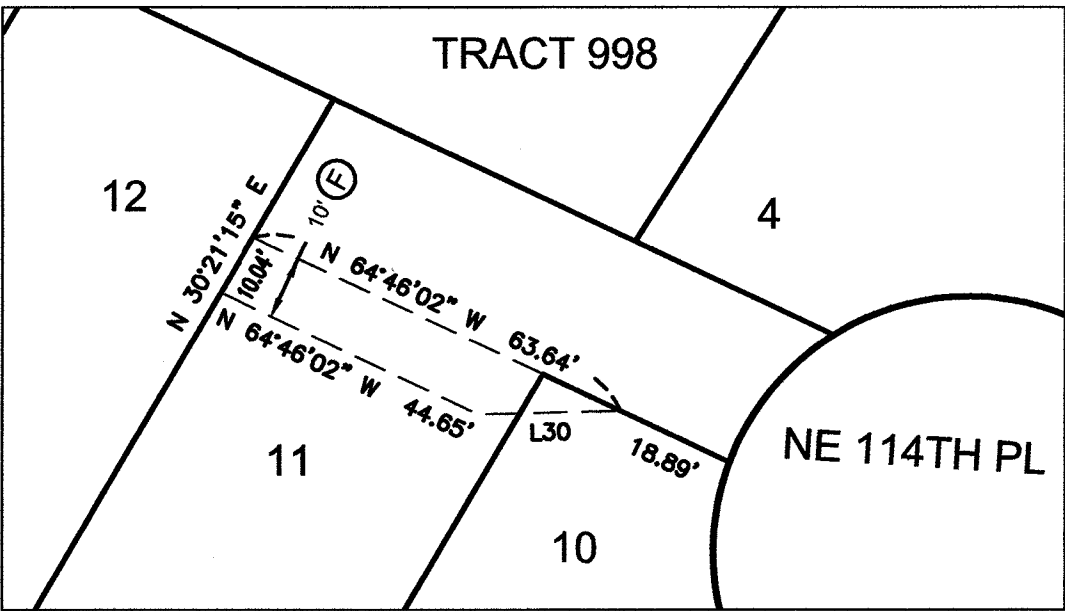
297/66

SILVANA HEIGHTS

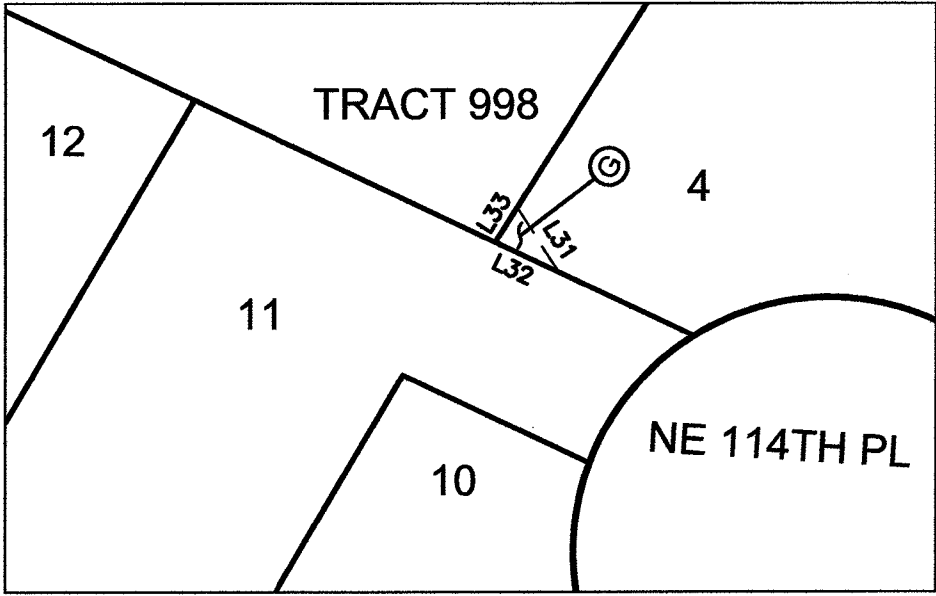
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ACCESS AND UTILITY EASEMENT
SEE EASEMENT PROVISION NO. 3, SHEET 2
SCALE: 1" = 30'

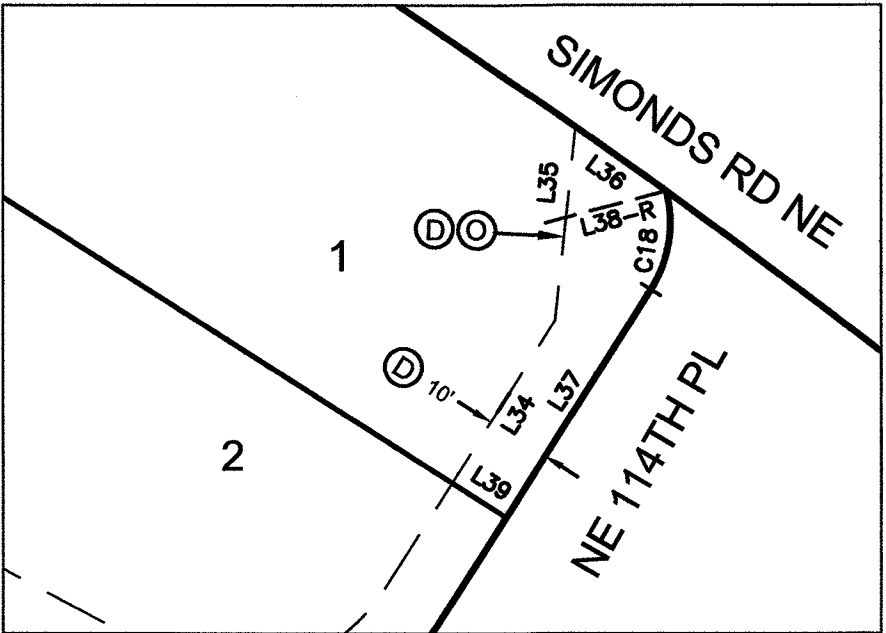


PRIVATE STORM DRAIN EASEMENT
SEE EASEMENT PROVISION NO. 5, SHEET 2
SCALE: 1" = 30'



PRIVATE STORM DRAIN EASEMENT
SEE EASEMENT PROVISION NO. 6, SHEET 2
SCALE: 1" = 30'

5' UTILITY EASEMENT. SEE EASEMENT PROVISION NO. 1 SHEET 2.



STORM DRAIN EASEMENT
SEE EASEMENT PROVISION NO. 4, SHEET 2
SCALE: 1" = 30'

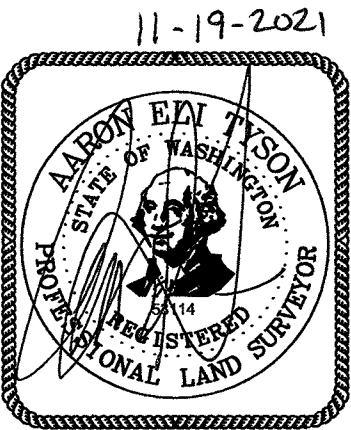
LINE	BEARING	DISTANCE
L30	N 88°32'02" E	22.26'
L31	N 32°34'27" W	12.02'
L32	N 64°46'02" W	10.97'
L33	N 32°23'36" E	6.45'
L34	N 32°24'19" E	30.06'
L35	N 06°00'06" E	30.53'
L36	N 54°29'30" W	17.38'
L37	N 32°24'19" E	42.19'
L38	N 75°19'24" E	19.50'
L39	N 57°31'18" W	10.00'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH
C11	40.00'	37°43'51"	26.34'
C18	19.50'	47°04'56"	16.02'

- Ⓒ 15' ACCESS AND UTILITY EASEMENT. SEE EASEMENT PROVISION NO. 3, SHEET 2.
- Ⓓ 10' UTILITY EASEMENT. SEE EASEMENT PROVISION NO. 1 SHEET 2.
- Ⓕ PRIVATE LOT DRAINAGE EASEMENT. SEE EASEMENT PROVISION NO. 5, SHEET 2.
- Ⓖ PRIVATE LOT DRAINAGE EASEMENT. SEE EASEMENT PROVISION NO. 6, SHEET 2.
- Ⓗ STORM DRAIN EASEMENT. SEE SHEET 2, EASEMENT PROVISION 4.

LEGEND

-R RADIAL



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SHEET 5 OF 5