

DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT **KEYSTONE LAND LLC**, THE UNDERSIGNED OWNER, IN FEE SIMPLE OF THE LAND HEREBY PLATTED AND **MOUNTAIN PACIFIC BANK**, THE MORTGAGEE THEREOF, HEREBY DECLARE THIS PLAT AND DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, AVENUES, PLACES AND SEWER EASEMENTS OR WHATEVER PUBLIC PROPERTY THERE IS SHOWN ON THE PLAT, EXCEPT TRACT 999, AND THE USE FOR ANY AND ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES. ALSO, THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON LOTS, BLOCKS, TRACTS, ETC., SHOWN ON THIS PLAT IN THE REASONABLE ORIGINAL GRADING OF ALL THE STREETS, AVENUES, PLACES, ETC., SHOWN HEREON. ALSO, THE RIGHT TO DRAIN ALL STREETS OVER AND ACROSS ANY LOT OR LOTS WHERE WATER MIGHT TAKE A NATURAL COURSE AFTER THE STREET OR STREETS ARE GRADED. ALSO, ALL CLAIMS FOR DAMAGE AGAINST ANY GOVERNMENTAL AUTHORITY ARE WAIVED WHICH MAY BE OCCASIONED TO THE ADJACENT LAND BY THE ESTABLISHED CONSTRUCTION, DRAINAGE, AND MAINTENANCE OF SAID ROADS.

FOLLOWING ORIGINAL REASONABLE GRADING OF ROADS AND WAYS HEREON, NO DRAINAGE WATERS ON ANY LOT OR LOTS SHALL BE DIVERTED OR BLOCKED FROM THEIR NATURAL COURSE SO AS TO DISCHARGE UPON ANY PUBLIC ROAD RIGHTS-OF-WAY TO HAMPER PROPER ROAD DRAINAGE. THE OWNER OF ANY LOT OR LOTS, PRIOR TO MAKING AN ALTERATION IN THE DRAINAGE SYSTEM AFTER THE RECORDING OF THE PLAT, MUST MAKE APPLICATION TO AND RECEIVE APPROVAL FROM THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS FOR SAID ALTERATION. ANY ENCLOSING OF DRAINAGE WATERS IN CULVERTS OR DRAINS OR REROUTING THEREOF ACROSS ANY LOT AS MAY BE UNDERTAKEN BY OR FOR THE OWNER OF ANY LOT SHALL BE DONE BY AND AT THE EXPENSE OF SUCH OWNER AFTER ACQUIRING A CULVERT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS, IF REQUIRED, AND SUBJECT TO ANY OTHER EXISTING PERMITTING REQUIREMENTS THEREFORE.

TRACTS 997 AND 998, TOGETHER WITH DRAINAGE AND DETENTION FACILITIES, IS HEREBY GRANTED TO THE HUDSON PLACE HOMEOWNERS ASSOCIATION (HOA) UPON THE RECORDING OF THIS PLAT, SUBJECT TO BOTH AN EMERGENCY AND ROUTINE MAINTENANCE EASEMENT GRANTED AND CONVEYED TO THE CITY OF MARYSVILLE. OWNERSHIP AND EXTERIOR MAINTENANCE OF SAID TRACT CONSISTENT WITH THE CITY OF MARYSVILLE CODE SHALL BE THE RESPONSIBILITY OF THE HUDSON PLACE HOA. USE OF SAID TRACT IS RESTRICTED TO THAT SPECIFIED IN THE APPROVED FINAL PLAT. THE OWNERS OF ALL LOTS WITHIN THE PLAT SHALL COMPLY WITH THOSE CITY OF MARYSVILLE REGULATIONS AND CONDITIONS OF FINAL SUBDIVISION APPROVAL SPECIFIED ON THE PLAT. IN THE EVENT THAT THE CITY OF MARYSVILLE SHALL BE REQUIRED TO MAKE CHANGES TO THE DRAINAGE OR DETENTION FACILITIES, CITY RIGHTS SHALL BE PRIMARY AND HOLD PRECEDENCE OVER THE RIGHTS RESERVED BY HUDSON PLACE HOA. THE CITY WILL TAKE ALL SUCH ACTS AS ARE REASONABLY REQUIRED TO PRESERVE, PROTECT AND MAINTAIN THESE IMPROVEMENTS. THE HOA SHALL REMAIN IN EXISTENCE UNLESS AND UNTIL ALL LOTS WITHIN THIS SUBDIVISION HAVE ASSUMED COMMON OWNERSHIP OF SAID TRACT. IN THE EVENT THE HOA SHOULD BE DISSOLVED, THEN EACH LOT SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN THE TRACT PREVIOUSLY OWNED BY THE HOA AS WELL AS RESPONSIBILITY FOR MAINTAINING THE TRACT. THIS TRACT SHALL REMAIN AN APPURTENANCE TO AND INSEPARABLE FROM EACH LOT. THIS COVENANT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HOA, THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION AND ALL OTHERS HAVING AN INTEREST IN THE TRACTS OR LOTS.

TRACT 999, NATIVE GROWTH PROTECTION AREA (NGPA), IS HEREBY GRANTED AND CONVEYED TOGETHER WITH ALL MAINTENANCE OBLIGATIONS TO THE HUDSON PLACE HOMEOWNERS ASSOCIATION. THE NGPA SHALL BE LEFT PERMANENTLY UNDISTURBED IN A SUBSTANTIALLY NATURAL STATE. NO CLEARING, GRADING, FILLING, BUILDING CONSTRUCTION OR PLACEMENT, OR ROAD CONSTRUCTION OF ANY KIND SHALL OCCUR EXCEPT REMOVAL OF HAZARDOUS TREES WHEN APPROVED BY THE CITY. ACTIVITIES AS SET FORTH IN CHAPTER 22C MMC ARE ALLOWED WHEN APPROVED BY THE CITY. IN THE EVENT THAT THE HOA SHOULD BE DISSOLVED, THEN EACH LOT SHALL HAVE AN EQUAL AND UNDIVIDED INTEREST IN THE TRACT PREVIOUSLY OWNED BY THE HOA AS WELL AS RESPONSIBILITY FOR MAINTAINING THE TRACT. THIS TRACT SHALL REMAIN AN APPURTENANCE TO AND INSEPARABLE FROM EACH LOT.

THAT SAID DEDICATION TO THE PUBLIC SHALL IN NO WAY BE CONSTRUED TO PERMIT A RIGHT OF DIRECT ACCESS TO 67TH AVENUE NORTHEAST FROM TRACT 997, NOR SHALL THE CITY OF MARYSVILLE OR ANY OTHER LOCAL GOVERNMENTAL AGENCY EVER BE REQUIRED TO GRANT A PERMIT TO BUILD OR CONSTRUCT AN ACCESS OF APPROACH TO SAID STREET FROM SAID TRACT.

DRAINAGE EASEMENTS DESIGNATED ON THE PLAT ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF MARYSVILLE, EXCEPT THOSE DESIGNATED ON THE PLAT AS PRIVATE EASEMENTS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS AND THE RIGHT TO EXCAVATE, CONSTRUCT, OPERATE, MAINTAIN, REPAIR AND/OR REBUILD AN ENCLOSED OR OPEN-CHANNEL STORM WATER CONVEYANCE SYSTEM AND/OR OTHER DRAINAGE FACILITIES, UNDER, UPON OR THROUGH THE DRAINAGE EASEMENT.

THE UNDERSIGNED OWNER OR OWNERS OF THE INTEREST IN THE REAL ESTATE DESCRIBED HEREIN HEREBY DECLARE THIS MAP AND DEDICATE THE SAME FOR A COMMON INTEREST COMMUNITY NAMED HUDSON PLACE, A PLAT COMMUNITY, AS THAT TERM IS DEFINED IN THE WASHINGTON UNIFORM COMMON INTEREST OWNERSHIP ACT. SOLELY TO MEET THE REQUIREMENTS OF THE WASHINGTON UNIFORM COMMON INTEREST OWNERSHIP ACT AND NOT FOR ANY PUBLIC PURPOSE. THIS MAP AND ANY PORTION THEREOF IS RESTRICTED BY LAW AND THE DECLARATION FOR HUDSON PLACE, RECORDING UNDER SNOHOMISH COUNTY RECORDING NUMBER 202109270903

IN WITNESS WHEREOF, WE SET OUR HANDS AND SEALS THIS 16th DAY OF July, 2021.

BY: [Signature]

IN WITNESS WHEREOF, WE SET OUR HANDS AND SEALS THIS 13th DAY OF July, 2021.

BY: [Signature]

ACKNOWLEDGMENTS

STATE OF WASHINGTON }
 COUNTY OF SNOHOMISH }

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT **MICHAEL IMPOLA** IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT THEY SIGNED THIS INSTRUMENT ON OATH STATING THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE Pres. OF **KEYSTONE LAND LLC, A WASHINGTON LIMITED LIABILITY COMPANY**, TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SUCH PARTY FOR THE USE AND PURPOSES MENTIONED IN THIS INSTRUMENT.

[Signature]
 NOTARY SIGNATURE

Kathryn Stenberg
 (PRINT NAME)

DATED: July 16th, 2021

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
 RESIDING AT Stanwood
 MY APPOINTMENT EXPIRES: 4-7-2025



STATE OF WASHINGTON }
 COUNTY OF SNOHOMISH }

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT **Lawrence Cobman** IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT THEY SIGNED THIS INSTRUMENT ON OATH STATING THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE VP OF **MOUNTAIN PACIFIC BANK**, TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SUCH PARTY FOR THE USE AND PURPOSES MENTIONED IN THIS INSTRUMENT.

[Signature]
 NOTARY SIGNATURE

Casey L. Bauer
 (PRINT NAME)

DATED: 07/13/2021

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
 RESIDING AT Lake Stevens
 MY APPOINTMENT EXPIRES: 9.29.2024



LEGAL DESCRIPTION

THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;

EXCEPT THE SOUTH 515 FEET THEREOF;

TOGETHER WITH THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;

EXCEPT THE SOUTH 515 FEET THEREOF;

AND EXCEPT THE WEST 20 FEET FOR ROADS.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

EASEMENTS, RESTRICTIONS AND COVENANTS

- NO FURTHER SUBDIVISION OF ANY LOT WITHOUT RESUBMITTING FOR FORMAL PLAT PROCEDURE.
- THE SALE OR LEASE OF LESS THAN A WHOLE LOT IN ANY SUBDIVISION PLATTED AND FILED UNDER TITLE 22 OF THE MARYSVILLE MUNICIPAL CODE IS EXPRESSLY PROHIBITED EXCEPT IN COMPLIANCE WITH TITLE 22 OF THE MARYSVILLE MUNICIPAL CODE.
- ALL LANDSCAPED AREAS IN PUBLIC RIGHTS-OF-WAY SHALL BE MAINTAINED BY THE DEVELOPER AND HIS SUCCESSOR(S) AND MAY BE REDUCED OR ELIMINATED IF DEEMED NECESSARY FOR OR DETRIMENTAL TO CITY ROAD PURPOSES.
- THE LOCATION AND HEIGHT OF ALL FENCES AND OTHER OBSTRUCTIONS WITHIN AN EASEMENT AS DEDICATED ON THIS PLAT SHALL BE SUBJECT TO THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OR HIS DESIGNEE.
- THE EXISTING GARAGE DOOR AND ALL PARKING FOR THE EXISTING SINGLE FAMILY RESIDENCE ON LOT 10 SHALL REMAIN ON THE SOUTH SIDE OF THE HOUSE, AND THE NORTH ELEVATION SHALL BE DESIGNED TO ORIENT TOWARDS THE STREET (I.E. FRONT DOOR/PORCH, PATHWAY CONNECTING TO THE STREET, APPROPRIATE/GRADUAL TRANSITION TO THE STREET, ETC.) ALL PAVING BETWEEN THE NEW FRONT OF THE HOUSE AND THE STREET SHALL BE REMOVED; PROVIDED THAT, A CONCRETE PEDESTRIAN PATHWAY SHALL BE INSTALLED BETWEEN THE ENTRY AND 46TH STREET NE TO MATCH THE PATHWAYS PROVIDED FOR OTHER LOTS IN THE PLAT. THE DRIVEWAY FOR THIS LOT, AND THE ADJACENT LOT TO THE EAST, MUST MEET THE EDDS SETBACK FROM THE PROPERTY LINE OF 6 FEET. NO GARAGE DOOR OR PARKING PAD MAY BE ADDED ON THE NORTH SIDE OF THE BUILDING UNLESS THE STRUCTURE IS MODIFIED TO MEET A 20-FOOT SETBACK FROM THE FRONT PROPERTY LINE CONSISTENT WITH MMC SECTION 22C.010.090(8).
- NO DIRECT ACCESS FROM THE STORM DRAINAGE FACILITIES OR ANY LOTS SHALL BE PERMITTED ONTO 67TH AVENUE NE.
- THE APPLICANT SHALL SUBMIT PAYMENT TO THE CITY OF MARYSVILLE FOR TRAFFIC IMPACTS CAUSED BY THE DEVELOPMENT IN ACCORDANCE WITH MMC CHAPTER 22D.030, TRAFFIC IMPACT FEES AND MITIGATION. TRAFFIC MITIGATION FEES ARE VESTED AT \$6,300.00 PER NEW SINGLE FAMILY RESIDENCE. A CREDIT APPLIES TO LOT 10 WHERE THE EXISTING SINGLE FAMILY RESIDENCE WILL BE RETAINED. TRAFFIC MITIGATION FEES HAVE BEEN DEFERRED, AND WILL BE REQUIRED TO BE PAID PRIOR TO FINAL BUILDING INSPECTIONS BEING GRANTED.
- THE APPLICANT SHALL SUBMIT PAYMENT TO THE MARYSVILLE SCHOOL DISTRICT NO. 25 FOR SCHOOL IMPACTS CAUSED BY THE DEVELOPMENT IN ACCORDANCE WITH MMC CHAPTER 22D.040, SCHOOL IMPACT FEES AND MITIGATION. SCHOOL MITIGATION FEES WILL BE BASED ON THE FEE SCHEDULES IN EFFECT AT THE TIME AN INDIVIDUAL BUILDING PERMIT APPLICATION IS ACCEPTED BY THE CITY. SCHOOL MITIGATION FEES HAVE BEEN DEFERRED, AND WILL BE REQUIRED TO BE PAID PRIOR TO FINAL BUILDING INSPECTIONS BEING GRANTED.
- THE APPLICANT SHALL SUBMIT PAYMENT TO THE CITY OF MARYSVILLE FOR PARK IMPACTS CAUSED BY THE DEVELOPMENT IN ACCORDANCE WITH MMC CHAPTER 22D.020, PARKS, RECREATION, OPEN SPACE AND TRAIL IMPACT FEES AND MITIGATION. PARK MITIGATION FEES WILL BE BASED ON THE FEE SCHEDULES IN EFFECT AT THE TIME AN INDIVIDUAL BUILDING PERMIT APPLICATION IS ACCEPTED BY THE CITY. PARK MITIGATION FEES HAVE BEEN DEFERRED, AND WILL BE REQUIRED TO BE PAID PRIOR TO FINAL BUILDING INSPECTIONS BEING GRANTED.
- ANY LOTS UNDER 5,000 SQUARE FEET MUST DEMONSTRATE COMPLIANCE WITH MMC SECTION 22C.010.310, SMALL LOT SINGLE FAMILY DWELLING DEVELOPMENT STANDARDS, PRIOR TO BUILDING PERMIT ISSUANCE.
- PRIOR TO FINAL BUILDING INSPECTIONS BEING GRANTED, NEPA 13D RESIDENTIAL FIRE SPRINKLER SYSTEMS SHALL BE REQUIRED TO BE INSTALLED FOR: ANY HOMES THAT ARE THREE STORIES TALL; IF HYDRANT FIRE FLOW DOES NOT MEET FIRE CODE REQUIREMENTS; IF THERE ARE ACCESS DEFICIENCIES; OR IF ANY PART OF A HOME IS FURTHER THAN 200 FEET FROM THE PUBLIC ROAD RIGHT-OF-WAY WITH NO HYDRANT PROVIDED ON-SITE, OR AS OTHERWISE APPROVED BY THE MARYSVILLE FIRE DISTRICT.
- SUBJECT TO QUIT CLAIM DEED, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 635627 (BLANKET IN NATURE).
- SUBJECT TO STATUTORY WARRANTY DEED, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 1478843 (CONDITIONS BLANKET IN NATURE).
- SUBJECT TO CONTRACT FOR RECOVERY OF UTILITY CONSTRUCTION COSTS, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 9803250476 (BLANKET IN NATURE).
- SUBJECT TO CONTRACT FOR RECOVERY OF UTILITY CONSTRUCTION COSTS, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 200302210520 (BLANKET IN NATURE).
- SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, AS SET FORTH ON BOUNDARY LINE ADJUSTMENT NO. BLA 00-001, AS RECORDED UNDER RECORDING NUMBER 200005305002 (NO PLOTTABLE ENCUMBRANCES).
- SUBJECT TO AGREEMENT RESOLVING BOUNDARY LINES, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 202002190530 (EXCLUDES A PORTION OF LAND WITHIN THE SOUTH 369 FEET OF THE SW 1/4 OF THE SW 1/4 OF SECTION 35, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M. FROM THE SUBJECT PROPERTY).
- SUBJECT TO AGREEMENT RESOLVING BOUNDARY LINES, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 202003110381 (EXCLUDES A PORTION OF LAND WITHIN THE SOUTH 515 FEET OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 35, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M. FROM THE SUBJECT PROPERTY).
- SUBJECT TO DEED OF TRUST, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 202103080473 (BENEFICIARY IS MOUNTAIN PACIFIC BANK).
- COVENANTS AND SPECIAL PLAT RESTRICTIONS HAVE BEEN RECORDED UNDER AUDITOR'S FILE NO. _____

CITY OF MARYSVILLE APPROVALS

EXAMINED AND APPROVED THIS 22nd DAY OF July, 2021.

[Signature]
 CITY ENGINEER, CITY OF MARYSVILLE

EXAMINED AND APPROVED THIS 22nd DAY OF July, 2021.

[Signature]
 COMMUNITY DEVELOPMENT DIRECTOR, CITY OF MARYSVILLE

EXAMINED, FOUND TO BE IN CONFORMITY WITH APPLICABLE ZONING AND OTHER LAND USE CONTROLS, AND APPROVED THIS 3rd DAY OF August, 2021.

[Signature]
 MAYOR, CITY OF MARYSVILLE

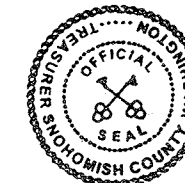
[Signature]
 ATTEST: CITY CLERK

TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL STATE AND COUNTY TAXES HERETOFORE LEVIED AGAINST THE PROPERTY DESCRIBED HEREIN, ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID AND DISCHARGED, INCLUDING 2021 TAXES.

[Signature]
 TREASURER, SNOHOMISH COUNTY

BY: [Signature] 9/27/21
 DEPUTY COUNTY TREASURER



AUDITOR'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF PACIFIC COAST SURVEYS, INC. THIS 27th DAY OF Sept, 2021, AT 8 MINUTES PAST 20 M, AND RECORDED IN VOLUME --- OF PLATS, PAGES ---, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

[Signature]
 AUDITOR, SNOHOMISH COUNTY

ASSESSOR'S NO. 30053500301700

BY: [Signature]
 DEPUTY COUNTY AUDITOR

LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT OF HUDSON PLACE IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 35, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M. AS REQUIRED BY THE STATE STATUTES; THAT THE DISTANCES, COURSES AND ANGLES ARE SHOWN THEREON CORRECTLY; THAT THE MONUMENTS SHALL BE SET AND LOT AND BLOCK CORNERS SHALL BE STAKED CORRECTLY ON THE GROUND, THAT I FULLY COMPLIED WITH THE PROVISIONS OF THE STATE AND LOCAL STATUTES AND REGULATIONS GOVERNING PLATTING.

[Signature]

DARREN J. RIDDLE
 PROFESSIONAL LAND SURVEYOR
 CERTIFICATE NO. 37536



7/12/21
 DATE

A.F. NO. 202109275005

SHEET
 1 of 3

Pacific Coast Surveys, Inc. LAND SURVEYING & MAPPING P.O. BOX 13619 MILL CREEK, WA 98082 PH. 425.512.7099 FAX 425.357.3577 www.PCSurveys.net	HUDSON PLACE FILE NO. PA20-012 CITY OF MARYSVILLE, SNOHOMISH COUNTY, WA SW 1/4 SW 1/4, SEC.35, T.30N., R.5E., W.M.	
	DRAWN BY IGM	DATE 7.12.21
		SCALE N/A
		JOB NO. 19-1794

10 FOOT FRONTAGE UTILITY EASEMENT

AN EASEMENT SHALL BE RESERVED FOR AND GRANTED TO ALL UTILITIES SERVING THE SUBJECT PLAT AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, UNDER AND UPON THE EXTERIOR (10) FEET PARALLEL WITH AND ADJOINING THE STREET FRONTAGE OF ALL LOTS IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN UNDERGROUND CONDUITS, CABLES, PIPE AND WIRES WITH NECESSARY FACILITIES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, TELEPHONE, AND UTILITY SERVICE, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS AT ALL TIMES FOR THE PURPOSE HEREIN STATED.

EQUIPMENT & PROCEDURES

METHOD OF SURVEY:
 SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION:
 LEICA TS15 ROBOTIC ELECTRONIC TOTAL STATION

PRECISION:
 MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

BASIS OF BEARING:
 THE CENTERLINE OF 67TH AVE. N.E., AS THE BEARING OF N 00°40'30" E, PER PLAT OF EASTWOOD HILLS, VOLUME 53 OF PLATS, PAGES 294-297, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SURVEY REFERENCES

1. PLAT OF EASTWOOD HILLS - AFN 9209225003
2. PLAT OF EASTWOOD HILLS II - AFN 9402095002

LEGEND

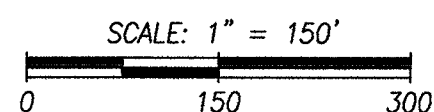
- FOUND CASED CONC. MON. AS NOTED
- BOUNDARY LINE
- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY
- UTILITY EASEMENT

PRIVATE STORM DRAINAGE EASEMENTS

PRIVATE STORM DRAINAGE EASEMENTS OVER, UNDER AND ACROSS THE BURDENED LOTS, AS SET FORTH IN THE FOLLOWING TABLES AND SHOWN ON SHEET 3 OF 3, ARE HEREBY GRANTED AND CONVEYED TO THE OWNERS OF THE BENEFITED LOTS AS SHOWN ON THE FOLLOWING TABLE.

THE OWNERS OF SAID BENEFITED LOTS SHALL BE EQUALLY RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR RECONSTRUCTION OF THAT PORTION OF THE PRIVATE STORM DRAINAGE FACILITIES THEY BENEFIT FROM, EXCEPT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED STORM SEWER LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.

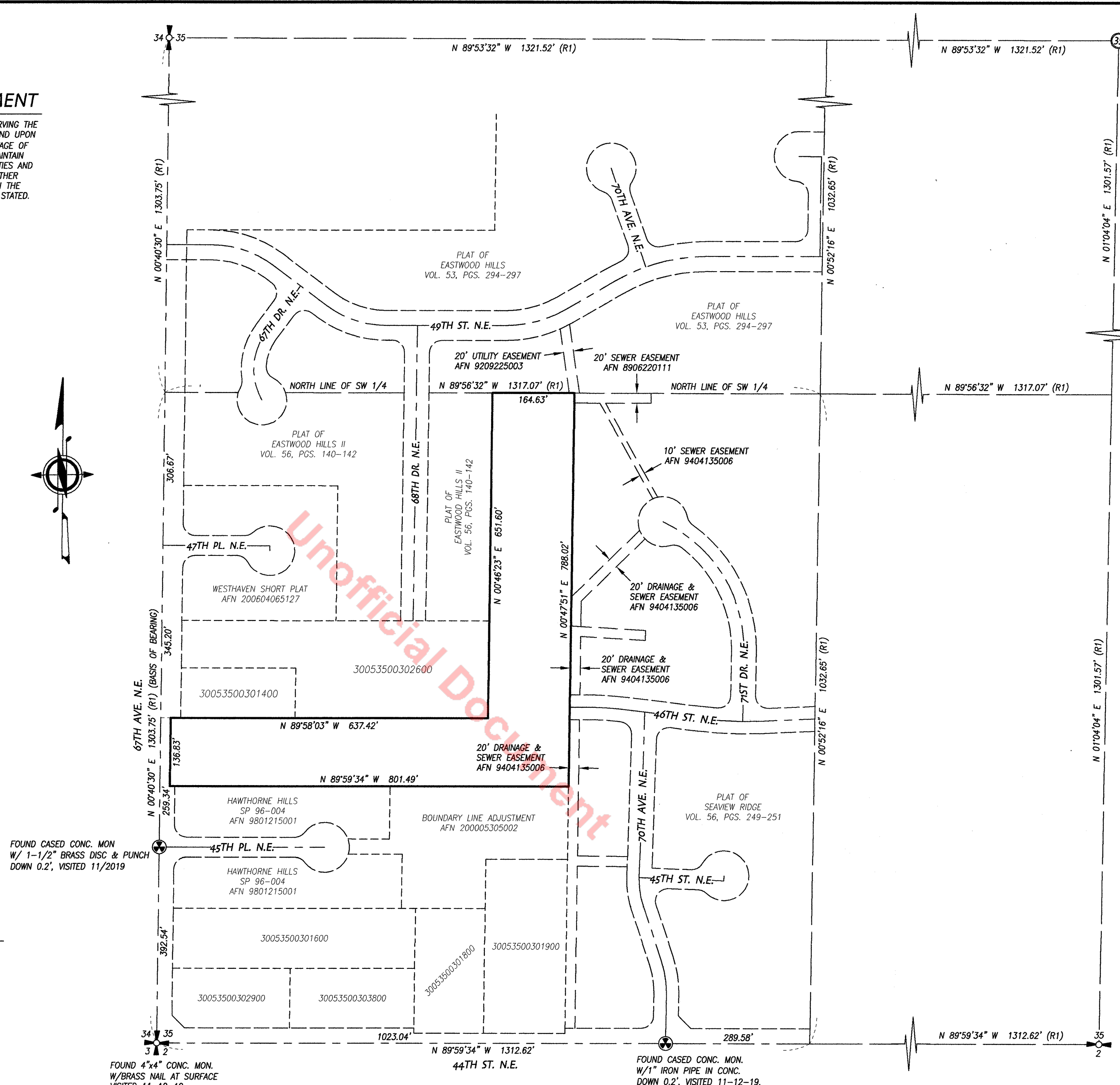
BURDENED LOTS	BENEFITED LOTS
1-2	2-3
4	5
6-8	7-9
12-15	16-20
17-22	14-16



FOUND CASED CONC. MON
 W/ 1-1/2" BRASS DISC & PUNCH
 DOWN 0.2', VISITED 11/2019

FOUND 4"x4" CONC. MON.
 W/ BRASS NAIL AT SURFACE
 VISITED 11-12-19

FOUND CASED CONC. MON.
 W/ 1" IRON PIPE IN CONC.
 DOWN 0.2', VISITED 11-12-19.



A.F. NO. 202109275005

SHEET
2 of 3



Pacific Coast Surveys, Inc.
 LAND SURVEYING & MAPPING
 P.O. BOX 13619
 MILL CREEK, WA 98082
 PH. 425.512.7099 FAX 425.357.3577
 www.PCSurveys.net

HUDSON PLACE
 FILE NO. PA20-012
 CITY OF MARYSVILLE, SNOHOMISH COUNTY, WA
 SW 1/4 SW 1/4, SEC.35, T.30N., R.5E., W.M.

DRAWN BY	DATE	DRAWING FILE NAME	SCALE	JOB NO.
IGM	7.12.21	191794fpm.dwg	1"=150'	19-1794

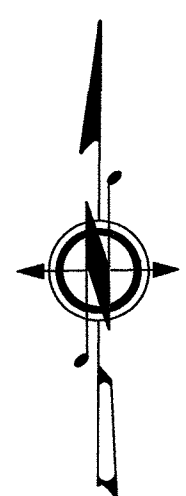
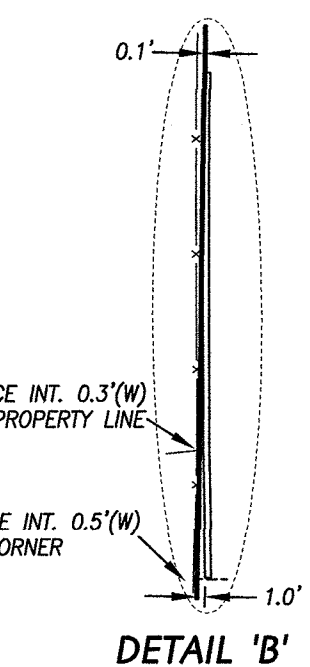
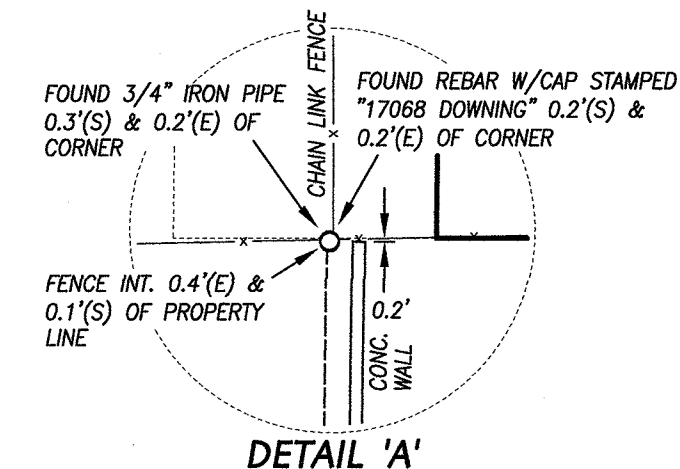
EQUIPMENT & PROCEDURES

METHOD OF SURVEY:
 SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION:
 LEICA TS15 ROBOTIC ELECTRONIC TOTAL STATION

PRECISION:
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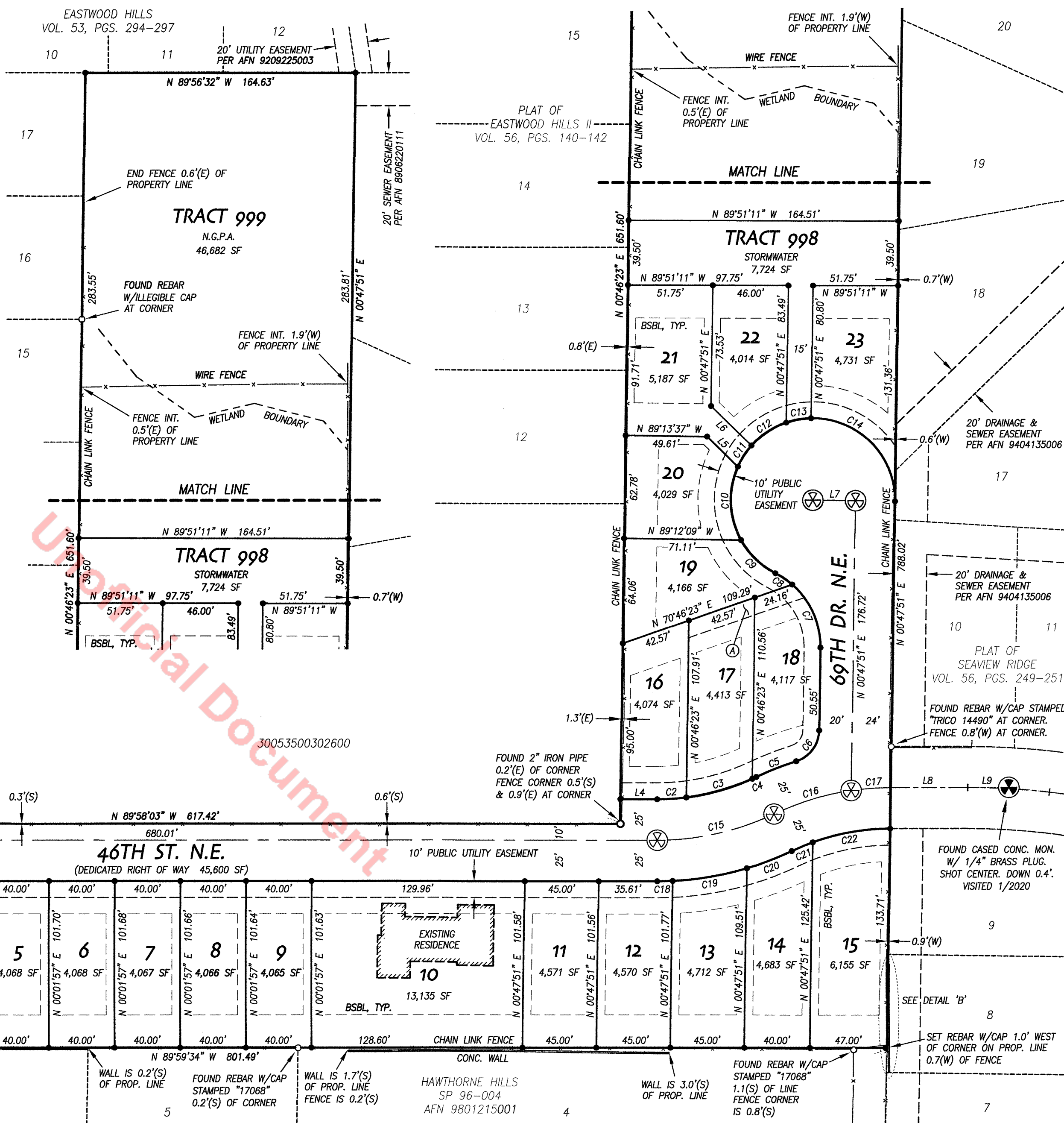
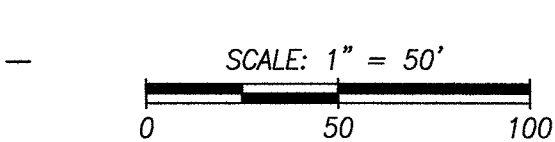
FOUND CAGED CONC. MON W/ 1-1/2" BRASS DISC & PUNCH DOWN 0.2', VISITED 11/2019 AT 45TH PL. N.E.

LINE TABLE

LINE	LENGTH	BEARING
L1	10.00	N 00°40'32" E
L2	20.00	N 89°58'03" W
L3	20.00	N 89°58'03" W
L4	22.29	N 89°58'03" W
L5	26.14	N 45°28'32" W
L6	34.49	N 45°28'32" W
L7	26.00	N 89°12'09" W
L8	47.00	N 89°59'34" W
L9	25.00	N 89°59'34" W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE
C1	38.99	25.00	89°21'27"
C2	17.78	140.00	7°16'36"
C3	41.89	140.00	17°08'43"
C4	2.72	140.00	1°06'44"
C5	26.20	190.00	7°54'08"
C6	24.99	20.00	71°36'11"
C7	43.43	50.00	49°45'46"
C8	12.33	50.00	14°08'00"
C9	29.58	50.00	33°53'47"
C10	46.46	50.00	53°14'21"
C11	15.38	50.00	17°37'17"
C12	25.81	50.00	29°34'36"
C13	15.33	50.00	17°33'59"
C14	80.28	50.00	91°59'47"
C15	73.53	165.00	25°32'03"
C16	49.35	165.00	17°08'10"
C17	24.11	165.00	8°22'23"
C18	9.40	190.00	2°50'10"
C19	45.88	190.00	13°50'08"
C20	29.39	190.00	8°51'45"
C21	13.91	140.00	5°41'29"
C22	48.08	140.00	19°40'35"



LEGEND

- SET 1/2" X 24" REBAR & CAP STAMPED "L.S. 37536"
- FOUND REBAR & CAP AS NOTED
- ⊗ FOUND CAGED CONC. MON. AS NOTED
- ⊗ SET CAGED CONC. MON. STAMPED "PCS - 37536"
- ⊕ RIGHT OF WAY CENTERLINE
- BSBL BUILDING SETBACK LINE
- Ⓐ 10' STORM DRAINAGE & SANITARY SEWER EASEMENT
- BOUNDARY LINE
- LOT LINE
- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY
- UTILITY EASEMENT
- BUILDING SETBACK LINE



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HUDSON PLACE
 FILE NO. PA20-012
 CITY OF MARYSVILLE, SNOHOMISH COUNTY, WA
 SW 1/4 SW 1/4, SEC.35, T.30N., R.5E., W.M.

DRAWN BY	DATE	DRAWING FILE NAME	SCALE	JOB NO.
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